

Application No: W 13 / 0916

Town/Parish Council: Lapworth

Case Officer: Liam D'Onofrio

01926 456527 liam.donofrio@warwickdc.gov.uk

Registration Date: 15/07/13

Expiry Date: 09/09/13

Land Adjoining, Glasshouse Lane, Lapworth, Solihull

Erection of replacement stable block FOR Mrs Ellhia

This application is being presented to Committee due to the number of objections from local residents and an objection from the Parish Council having been received.

RECOMMENDATION

Planning Committee are recommended to grant planning permission, subject to conditions.

DETAILS OF THE DEVELOPMENT

Planning permission is sought for a replacement stable building, which will form an L-shape measuring 19.8 metres long by 12 metres wide. The depth of the element incorporating stables 1 to 4 and the tack room/toilet will be 4.9 metres and the depth of the hay store will be 4.6m. The building will have an eaves height of 2.2 metres and a ridge height of 3.1 metres. The building will be constructed of blockwork and clad in a timber ship lap boarding with a shallow metal profile roof over. The replacement stable will sit on a similar footprint to the existing stable.

The supporting letter states that rather than carry out internal alterations it is more efficient and cost effective to demolish the stables and rebuild from scratch.

THE SITE AND ITS LOCATION

The application site relates to a large rectangular field of some 6 acres located on the north western side of Glasshouse Lane. The existing stable building is located adjacent to the field's south eastern boundary with the highway, which is formed by a mature hedge. The site's vehicular access is also located to this boundary. The site is within Green Belt.

PLANNING HISTORY

W/05/1299 Stable block to provide four stables, tack room and hay barn:
Granted 23rd September 2005

W/12/0205 Erection of extension to enlarge existing stables: Granted 17th April 2012

W/12/0698 Erection of extension to enlarge existing stables (amendment to W/12/0205): Refused - APPEAL dismissed 15th April 2013. The Inspector noted that the additional size and height of the proposed L-shape stable building (23m by 13.5m by 4.8m high) would be of significant scale and would not preserve the openness of the Green Belt.

RELEVANT POLICIES

- DP1 - Layout and Design (Warwick District Local Plan 1996 - 2011)
- DP2 - Amenity (Warwick District Local Plan 1996 - 2011)
- DP3 - Natural and Historic Environment and Landscape (Warwick District Local Plan 1996 - 2011)
- DP11 - Drainage (Warwick District Local Plan 1996 - 2011)
- RAP13 - Directing New Outdoor Leisure and Recreation Development (Warwick District Local Plan 1996 - 2011)
- National Planning Policy Framework

SUMMARY OF REPRESENTATIONS

Lapworth Parish Council - The Parish Council wishes to reiterate its previous objection to the application on the following grounds: - change in design and appearance is inappropriate to the rural area.

Community Protection - No objection, subject to condition.

Public response - Ten letters of objection from surrounding residents, including Fetherston Grange Residents Association raising the following concerns:

- The footprint on plans is incorrect;
- Why is a septic tank/toilet necessary, for which works have already started;
- This is inappropriate development within the Green Belt;
- The development will have a detrimental effect upon the character and appearance of the area;
- The existing stable block is of ample size/perfectly adequate and the enlargement is totally unnecessary;
- The scheme is a residential/leisure property with a veneer of wood cladding to disguise it as a stable/ creeping development/change of use by stealth;
- The substantial building eaves will be removed under which horses would normally be sheltered and groomed;
- Scheme is creating legitimate anxieties within the existing community
- The existing stables has weathered well and sits well within the landscape;
- The acreage of land would not support more/larger horses;
- Increased vehicular traffic.

Local residents have also raised concern with the positioning of a static caravan on the site and the construction of a domestic looking brick wall entrance feature to the field. The static home is subject to a current Enforcement investigation

and the brick boundary wall does not require planning permission. These matters are not therefore considered any further within this application.

ASSESSMENT

The main considerations in assessing this scheme are:

- Principle for development within the Green Belt.
- Siting and design.
- The impact upon neighbouring amenity.

Principle

The National Planning Policy Framework (NPPF) 2012, paragraph 89 states that the Local Planning Authority should regard the construction of new buildings as inappropriate development in Green Belt, however exceptions to this are the provision of appropriate facilities for outdoor sport, outdoor recreation (which includes equestrian activities), as long as it preserves the openness of the Green Belt and does not conflict with the purposes of including land within it. Policy RAP13 'Directing New Outdoor Sport and Recreational Development' of the Warwick District Local Plan states that buildings must be essential and ancillary to the use of the land.

The existing stable provides four stables, a tack room and hay store, as does the replacement stable, albeit with large proportions and a toilet to the tack room. Nevertheless the application site, at some 6 acres, has adequate space to accommodate four horses in accordance with The British Horse Society guidance (1-1.5 acres per individual horse) and the scale of the building can therefore be considered ancillary to the use of the land.

Local concern has been raised that the stables will be converted to residential accommodation, however each case must be considered upon its own merits and the scheme before the Council is for the erection of a stable building. As equestrian uses are a legitimate form of outdoor recreation the scheme is considered to be acceptable in principle.

Siting and Design

The proposed replacement stable building will provide an acceptable scale and design solution of similar proportions to the existing stable and is therefore considered to overcome the Inspector's previous Appeal decision. Despite its blockwork construction the building will be clad in timber with a shallow metal profile roof over to provide a utilitarian appearance appropriate to the rural context. The building will be acceptably sited on a similar footprint to the existing stable close to the boundary hedge adjacent to Glasshouse Lane.

Other matters

The existing access will remain unaltered and with ample room to turn vehicles within the site and exist in a forward gear the scheme raised no highway safety issues.

The proposal will be set well away from adjacent properties and is therefore unlikely to result in any significant impact upon the outlook, light or amenities of occupiers of surrounding properties.

A condition is suggested to ensure that the septic tank is correctly installed.

SUMMARY/CONCLUSION

In the opinion of the Local Planning Authority, the development is an appropriate facility for outdoor sport and recreation and does not prejudice the openness and rural character of this green belt area and is considered to comply with the policies listed.

CONDITIONS

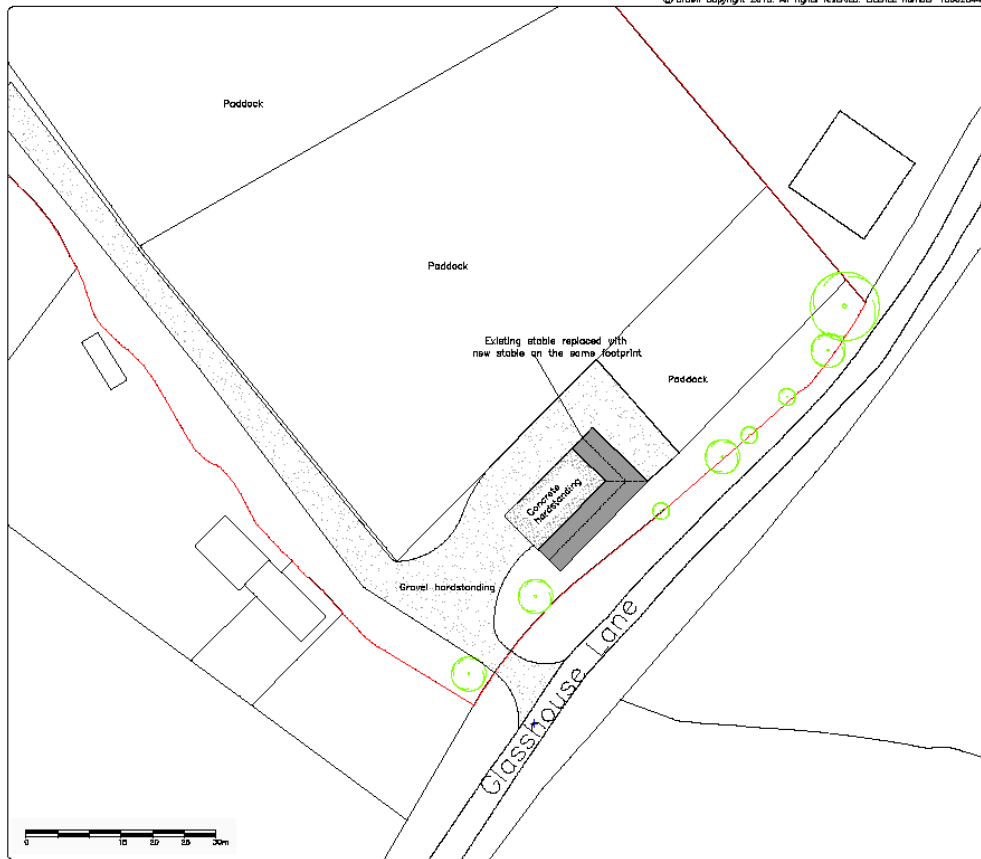
- 1 The development hereby permitted shall begin not later than three years from the date of this permission. **REASON:** To comply with Section 91 of the Town and Country Planning Act 1990 (as amended).
- 2 The development hereby permitted shall be carried out strictly in accordance with the details shown on the site location plan and approved drawing(s) 6985-301 and 6895-200, and specification contained therein, submitted on 2nd July 2013. **REASON :** For the avoidance of doubt and to secure a satisfactory form of development in accordance with Policies DP1 and DP2 of the Warwick District Local Plan 1996-2011.
- 3 The development hereby permitted shall be carried out in strict accordance with the details of foul water drainage works and future maintenance requirements that have been submitted to and approved in writing by the local planning authority. **REASON:** To ensure that adequate drainage facilities are available for the satisfactory and proper development of the site in accordance with Policy DP11 of the Warwick District Local Plan 1996-2011.
- 4 The stables hereby permitted shall only be used for purposes in connection with and incidental to the use of the land for equestrian grazing/leisure and shall not be used for the purposes of a livery or riding school or any other commercial purposes. **REASON :** To protect the rural character of the area, in accordance with Policies RAP10 and RAP13 of the Warwick District Local Plan 1996-2011.



Drawing Location Plan
Project Land at
Glasshouse Lane
Lapworth

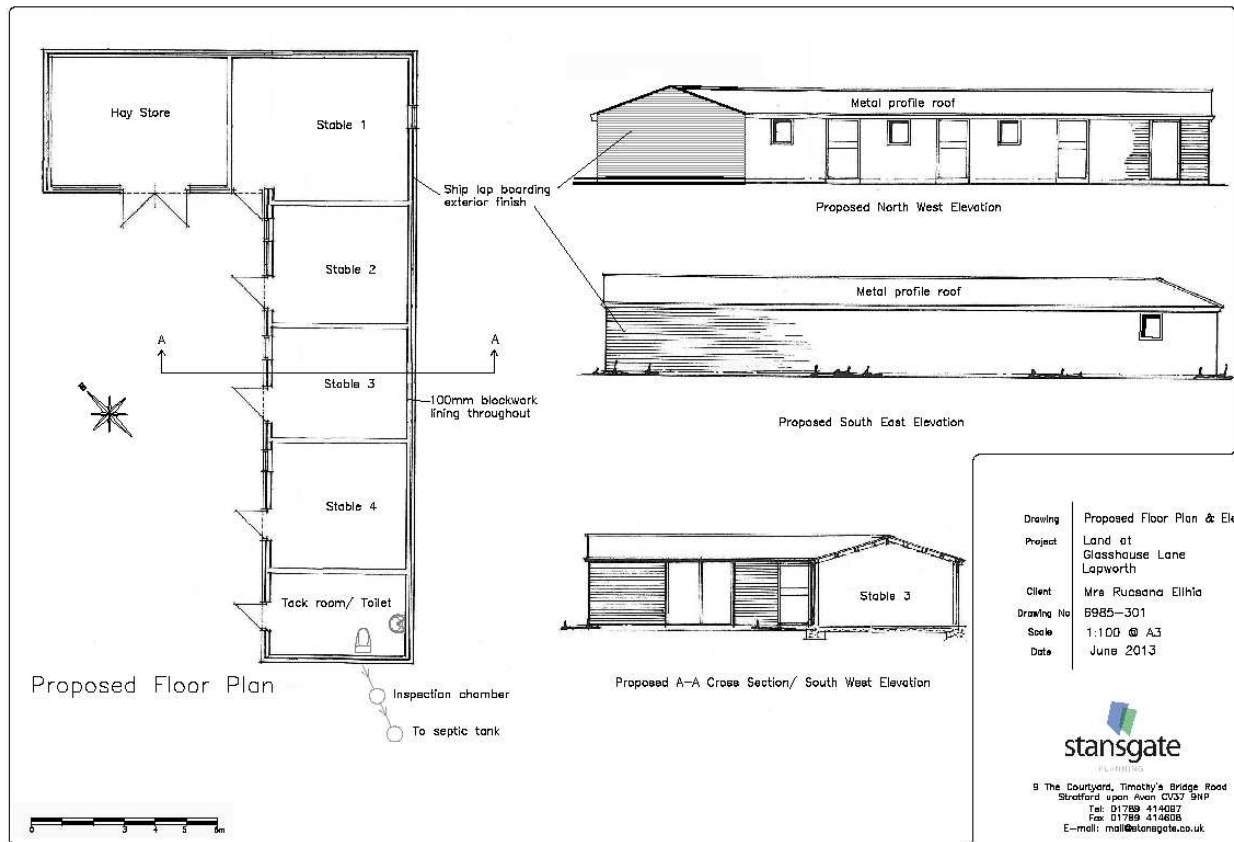
Drawing No 5955-100
Client Mrs Rucana Ellia
Scale 1:2500 @ A4
Date June 2013

stansgate
The Gaultard, Timothy's Bridge Road
Stratford upon Avon CV37 9NP
Tel: 01789 418887
Fax: 01789 418888
E-mail: mail@stansgate.co.uk



Drawing Existing & Proposed Block Plan
 Project Land at Glasshouse Lane, Lapworth
 Client Mrs Ruciana Elhija
 Drawing No 6985-200
 Scale 1:500 @ A3
 Date June 2013

stansgate
 PLANNING
 9 The Courtyard, Timothy's Bridge Road
 Stratford upon Avon CV37 9NP
 Tel: 01789 414087
 Fax: 01789 414635
 E-mail: mail@stansgate.co.uk



Drawing	Proposed Floor Plan & Elevations
Project	Land at Glasshouse Lane Lapworth
Client	Mrs Ruosana Ellila
Drawing No	6985-301
Scale	1:100 @ A3
Date	June 2013



9 The Courtyard, Timothy's Bridge Road
 Stafford upon Avon CV37 9NP
 Tel: 01789 414087
 Fax: 01789 414636
 E-mail: mail@stansgate.co.uk